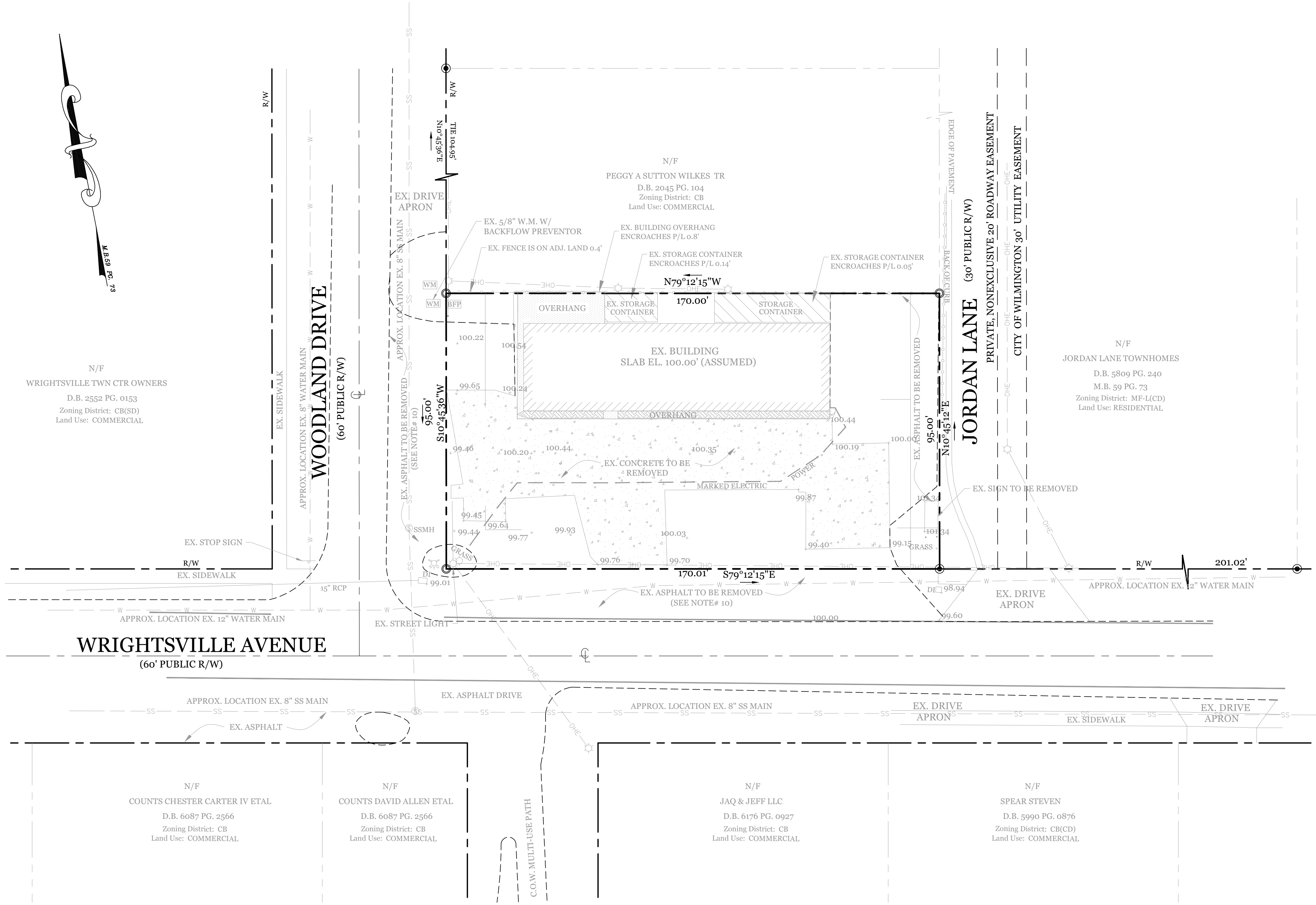


N/F
WRIGHTSVILLE TWN CTR OWNERS
D.B. 2552 PG. 0153
Zoning District: CB(SD)
Land Use: COMMERCIAL



N/F
COUNTS CHESTER CARTER IV ETAL
D.B. 6087 PG. 2566
Zoning District: CB
Land Use: COMMERCIAL

N/F
COUNTS DAVID ALLEN ETAL
D.B. 6087 PG. 2566
Zoning District: CB
Land Use: COMMERCIAL

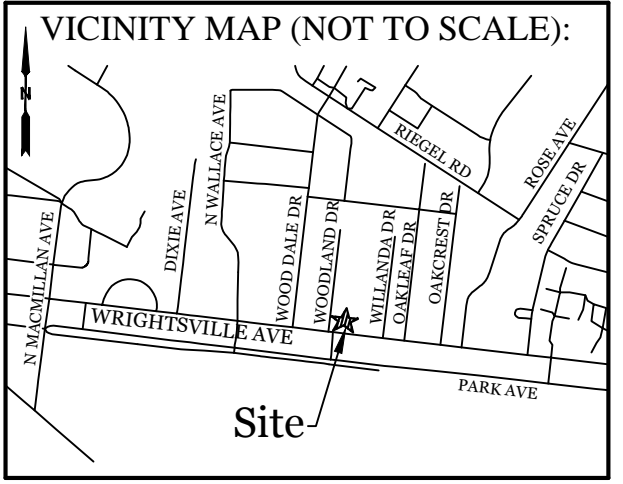
N/F
JAQ & JEFF LLC
D.B. 6176 PG. 0927
Zoning District: CB
Land Use: COMMERCIAL

N/F
SPEAR STEVEN
D.B. 5990 PG. 0876
Zoning District: CB(CD)
Land Use: COMMERCIAL

SITE DATA

PARCEL ID:	R05520-008-037-000
CURRENT ZONING:	CB W/ WACO
CAMA LAND USE CLASSIFICATION:	URBAN
PROJECT ADDRESS:	5039 WRIGHTSVILLE AVE WILMINGTON, NC 28403
CURRENT OWNER:	MOHAMAD ALI 4709 WEDGEFIELD DR WILMINGTON, NC 28409
TOTAL ACREAGE IN PROJECT BOUNDARY:	16,151 S.F. (±0.37 ac.)
EX BUILDING SIZE:	3,000 S.F. GFA
EXISTING ONSITE IMPERVIOUS AREAS:	
BLDG. ROOF INCLUDING OVERHANGS	3,880 S.F.
STORAGE CONTAINERS	582 S.F.
ASPHALT	5,480 S.F.
CONCRETE	5,293 S.F.
TOTAL:	15,235 S.F. (94.3%)
EXISTING ONSITE IMPERVIOUS AREAS TO BE REMOVED:	
BLDG. OVERHANGS	672 S.F.
STORAGE CONTAINERS	582 S.F.
ASPHALT	5,480 S.F.
CONCRETE	5,293 S.F.
TOTAL:	12,027 S.F.
SOIL TYPE:	Bh (Baymeade-urban complex) <i>(Per the USDA websoil survey map)</i>

- NOTES:**
- EXISTING SURVEY DATA PROVIDED BY STUART Y. BENSON NC PLS. NO. L-2675.
 - EXISTING ROW LINES AND DRIVEWAYS ACROSS WRIGHTSVILLE AVE. WERE TAKEN FROM NEW HANOVER COUNTY GIS, AND RECENT AERIAL IMAGES.
 - THIS LOT IS LOCATED IN ZONE X AS PER FIRM COMMUNITY # 370171, MAP# 3720314700K, DATED: AUGUST 28, 2018.
 - NO WETLANDS EXIST WITHIN THE PROPOSED DEVELOPMENT AREA.
 - THIS PROPERTY IS NOT AFFECTED BY AN AEC.
 - NO CONSERVATION RESOURCES EXIST ON SITE.
 - THIS PROPERTY IS NOT AFFECTED BY ANY HISTORIC OR ARCHAEOLOGICAL SITES.
 - NO REGULATED TREES EXIST ON SITE.
 - PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, A CONSTRUCTION ENTRANCE AND SILT FENCING SHALL BE INSTALLED.
 - WHEN THE USE OF ANY DRIVEWAY HAS BEEN PERMANENTLY DISCONTINUED, REPLACE ALL NECESSARY CURBS, GUTTERS, APRONS, SIDEWALKS, AND APPURTENANCES THERETO.



REVISIONS

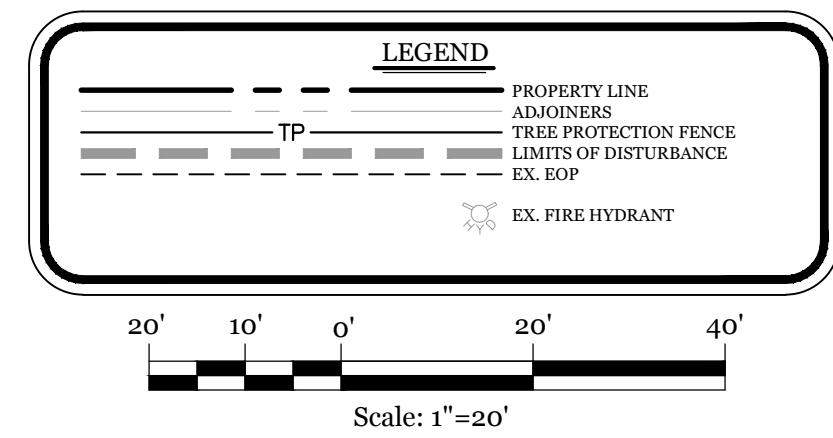
NO.	DESCRIPTION	DATE

INTRACOASTAL ENGINEERING, PLLC
5725 Oleander Dr. Unit E-7
Wilmington, North Carolina 28403
Phone: 910.859.8983
Email: Charlie@intracoastalengineering.com
License Number: P-0662

EXISTING CONDITIONS / DEMOLITION PLAN
FOR
LOUIE'S LIMITED VARIETY STORE
5039 Wrightsville Ave.
CITY OF WILMINGTON
NEW HANOVER COUNTY, NC

APPROVED
By waltonj at 10:53 am, Sep 01, 2021

APPROVED CONSTRUCTION PLAN
Jeff Walton
9/1/2021
City SW# 2021041
JW, BM, CW, RC, MB



CLIENT INFORMATION:
Mohamad Ali
5039 Wrightsville Ave.
Wilmington, NC 28403

DRAWN:	JAE	SHEET SIZE:	24x36
CHECKED:	CDC	DATE:	8/31/2021
APPROVED:	CDC	SCALE:	1" = 20'
PROJECT NUMBER:	2020-011		

DRAWING NUMBER: **C-0**
1 OF 5

SITE DATA

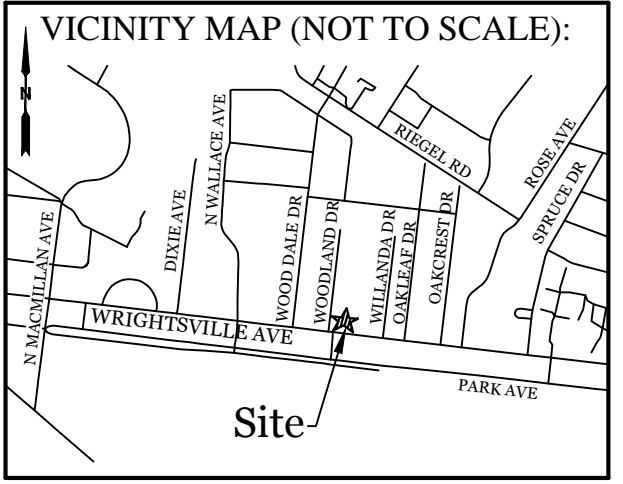
PARCEL ID: R05520-008-037-000
CURRENT ZONING: CB W/ WACO
CAMA LAND USE CLASSIFICATION: URBAN
PROJECT ADDRESS: 5039 WRIGHTSVILLE AVE WILMINGTON, NC 28403
CURRENT OWNER: MOHAMAD ALI 4700 WEDGEFIELD DR WILMINGTON, NC 28409
TOTAL ACREAGE IN PROJECT BOUNDARY: 16,151 S.F. (±0.37 ac.)
TOTAL DISTURBED AREA: ±0.4 ACRES
NUMBER OF BUILDINGS: 1
PROPOSED USE: RETAIL
TOTAL BUILDING SIZE IN GFA: 3,000 S.F. GFA
BUILDING HEIGHT: ±20 / 2 STORY (25' MAX. ALLOWED IN WACO)
BUILDING SETBACKS:
FRONT: REQUIRED= 20' PROPOSED= 54'
SIDE: REQUIRED= 0/20' TO RES. PROPOSED= 26.5'L/37.5'R
REAR: REQUIRED= 10' PROPOSED= 10'

CALCULATION FOR BUILDING COVERAGE:
PROPOSED COVERAGE 3,208 S.F. + 16,151 S.F. = 19.9%
PROPOSED ON-SITE IMPERVIOUS AREAS:
CONCRETE (SIDEWALK, C&G, ETC) 1,330 S.F.
ASPHALT PARKING 5,557 S.F.
TOTAL 6,887 S.F.
TOTAL ON-SITE IMPERVIOUS AREA:
PROPOSED: 6,887 S.F.
EX. TO REMAIN: 3,208 S.F.
TOTAL: 10,095 S.F. (62.5%)
PROPOSED OFF-SITE IMPERVIOUS AREAS:
CONCRETE SIDEWALK & DRIVE APRON 2,550 S.F.
PARKING REQUIRED (3,000 S.F. RETAIL):
MIN: 1 SPACE/400 S.F. = 8 SPACES (1 H.C.)
MAX: 1 SPACE/200 S.F. = 15 SPACES (1 H.C.)
PARKING PROVIDED: 9 SPACES (1 H.C.)
BICYCLE PARKING REQUIRED: (MIN. 5 PER 25-125 VEHICLE SPACES)
REQUIRED: 0 SPACES
PROVIDED: 0 SPACES
LOADING SPACES REQUIRED:
REQUIRED: 0 SPACES
PROVIDED: 0 SPACES
FOUNDATION PLANTINGS: 105 LF X 20' FAÇADE X 12%
REQUIRED: 252 S.F.
PROVIDED: 258 S.F.
STREETYARD REQUIREMENT:
WRIGHTSVILLE AVE. 18' (9' MIN & 27' MAX WIDTH)
REQUIRED: 170'-25' = 145' X 18' = 2,610 S.F. (1,305 S.F.*)
PROVIDED: 1,310 S.F.
WOODLAND DR. 9' (4.5' MIN & 13.5' MAX WIDTH)
REQUIRED: 95'-25' = 70' X 9' = 630 S.F.
PROVIDED: 850 S.F.
* We are requesting a streetyard reduction of one-half (1/2) the required square footage due to essential site improvements.
ESTIMATED TRIP GENERATION: 3,000 S.F. FREE STANDING DISCOUNT STORE (ITE CODE 815)
AM PEAK: 3 PM PEAK: 14 DAILY: 159
EXISTING SEWER AND WATER DEMAND: 0 GPD
PROPOSED SEWER AND WATER DEMAND: 300 GPD

DEVELOPMENT NOTES:
1. ALL DEVELOPMENT SHALL BE IN ACCORDANCE WITH THE CITY OF WILMINGTON LAND DEVELOPMENT CODE.
2. PROJECT SHALL COMPLY WITH ALL FEDERAL, STATE & NEW HANOVER COUNTY REGULATIONS.

APPROVED CONSTRUCTION PLAN
Jeff Walton
9/1/2021
City SW# 2021041
JW, BM, CW, RC, MB

APPROVED
By waltonj at 10:53 am, Sep 01, 2021



REVISIONS

NO.	DESCRIPTION	DATE

INTRACOASTAL ENGINEERING, PLLC
5725 Oleander Dr. Unit E-7
Wilmington, North Carolina 28403
Phone: 910.859.8983
Email: Charlie@intracoastalengineering.com
License Number: P-0662

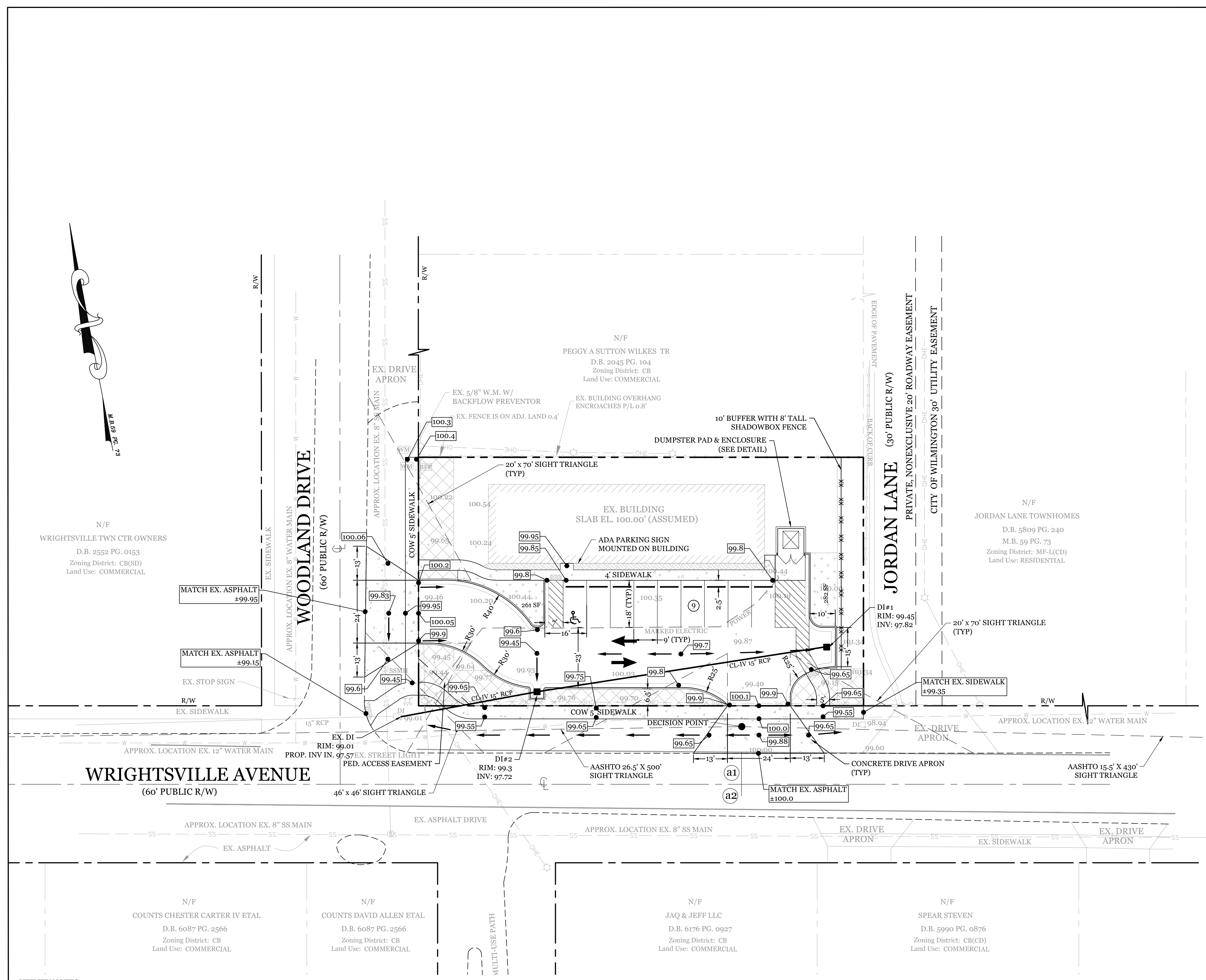
FOR LOUIE'S LIMITED VARIETY STORE
5039 Wrightsville Ave.
CITY OF WILMINGTON
NEW HANOVER COUNTY, NC

APPROVED CONSTRUCTION PLAN
Jeff Walton
9/1/2021
City SW# 2021041
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CLIENT INFORMATION:
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5039 Wrightsville Ave.
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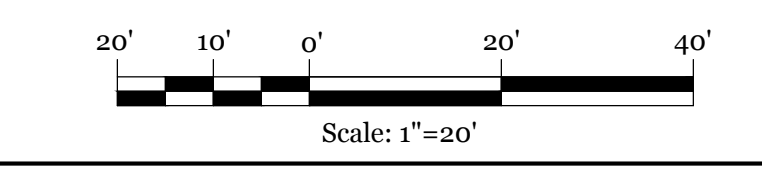
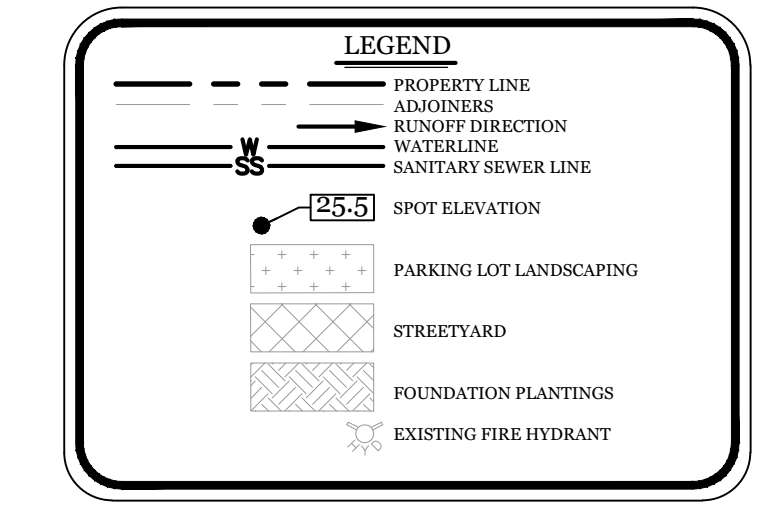
DRAWN: JAE	SHEET SIZE: 24x36
CHECKED: CDC	DATE: 8/31/2021
APPROVED: CDC	SCALE: 1" = 20'
PROJECT NUMBER: 2020-011	

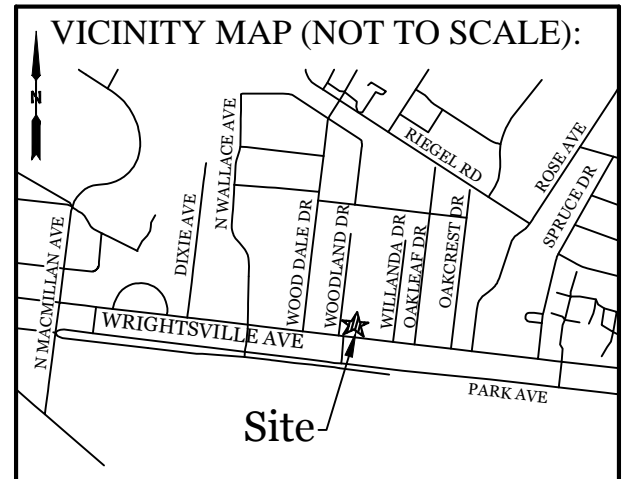
DRAWING NUMBER: **C-1**
20F5



- UTILITY NOTES:**
- EXISTING WATER AND SANITARY SEWER SERVICES ARE CURRENTLY AVAILABLE TO THE SITE FROM CAPE FEAR PUBLIC UTILITY AUTHORITY PUBLIC MAINS.
 - ALL PROPOSED UTILITY SERVICES, SUCH AS ELECTRIC POWER, CATV, GAS & TELEPHONE SHALL BE INSTALLED UNDERGROUND.
 - ALL WATER & SEWER UTILITIES TO BE INSTALLED PER CFPWA TECHNICAL SPECIFICATIONS & STANDARDS.
 - ANY BACKFLOW PREVENTION DEVICES REQUIRED BY THE CFPWA WILL NEED TO BE ON THE LIST OF APPROVED DEVICES BY USCFCCCHR OR ASSE.
 - IF CONTRACTOR DESIRES CFPWA WATER FOR CONSTRUCTION, HE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.
 - WHEN PVC WATER MAINS AND SERVICES ARE PROPOSED, THE PIPES ARE TO BE MARKED WITH NO. 10 INSULATED, SINGLE-STRAND COPPER WIRE INSTALLED & STRAPPED TO THE PIPES WITH DUCT TAPE. THIS IS TO BE ACCESSIBLE IN ALL VALVES AND METER BOXES TO AID IN FUTURE LOCATION OF FACILITIES.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF EXISTING UTILITIES DURING CONSTRUCTION. CALL NC811 AT 811 OR 1-800-622-4949. CONTRACTOR IS RESPONSIBLE FOR THE REPAIR AND REPLACEMENT OF ANY UTILITIES, CURB & GUTTER, PAVEMENT, ETC. THAT MAY BE DAMAGED DURING CONSTRUCTION. DAMAGED ITEMS SHALL BE REPAIRED TO AT LEAST THE QUALITY OR WORKMANSHIP FOUND IN THE ORIGINAL ITEM.
 - THE PROCESS FOR TELEPHONE CABLE PLACEMENT: * FINAL GRADE WILL NEED TO BE ESTABLISHED. * POWER WILL PLACE THEIR CABLE FIRST - APPROXIMATELY 3' DEEP. * TELEPHONE & CABLE TV WILL THEN PLACE THEIR CABLE AT APPROXIMATELY 2' DEEP.
 - SOLID WASTE DISPOSAL BY PRIVATE DUMPSTER SERVICE.
 - PROJECT WILL UTILIZE EXISTING SANITARY SEWER AND WATER SERVICES. CONTRACTOR TO VERIFY CONDITION PRIOR TO START OF CONSTRUCTION.
 - ANY EXISTING SEWER AND WATER SERVICES NOT BEING UTILIZED ARE TO BE ABANDONED PER CFPWA STANDARDS.
 - ALL WATER AND SANITARY SEWER LINES TO BE BURIED AT 36" MIN. DEPTH
 - SITE LIGHTING HEIGHT WITHIN WACO SHALL BE LIMITED TO EITHER TEN (10') FEET FOR UNRESTRICTED LIGHTING OR FIFTEEN (15') FEET FOR NINETY-DEGREE CUTOFF LIGHTING.

- GENERAL TRAFFIC NOTES:**
- ALL TRAFFIC CONTROL SIGNS AND PAVEMENT MARKINGS OFF THE R/W TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
 - ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS. [DETAIL SD 15-13 & SD 11-3 COFW TECH STDS]
 - ALL SIGNS AND PAVEMENT MARKINGS OFF RIGHT OF WAY ARE TO MEET/BE MAINTAINED TO MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS. [DETAIL SD 15-13 & SD 11-3 COFW TECH STDS]
 - A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET. NOTE THIS ON THE PLAN AND CONTACT 341 -5899 FOR MORE DETAILS. IN CERTAIN CASES AN ENTIRE RESURFACING OF THE AREA BEING OPEN CUT MAY BE REQUIRED.
 - ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBING WILL BE REPLACED.
 - CONTACT 811 PRIOR TO CONTACTING THE CITY OF WILMINGTON, TRAFFIC ENGINEERING REGARDING THE UTILITIES IN THE RIGHT OF WAY.
 - ALL PROPOSED VEGETATION WITHIN SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30" TO 10'.
- FIRE & SAFETY NOTES:**
- CONSTRUCTION TYPE: EXISTING CONSTRUCTION TYPE TO REMAIN (COMMERCIAL)
 - PROPOSED BUILDING WILL NOT BE SPRINKLED
 - CONTRACTOR SHALL MAINTAIN AN ALL-WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION
 - NEW HYDRANTS MUST BE BROUGHT INTO SERVICE PRIOR TO COMBUSTIBLE MATERIALS DELIVERED TO THE JOB SITE
 - A HYDRANT MUST BE WITHIN 150' OF THE FDC (MEASURED AS THE TRUCK DRIVES FOR PRACTICAL USE)
 - FDC MUST BE WITHIN 40' OF FIRE APPARATUS PLACEMENT
 - LANDSCAPING OR PARKING CANNOT BLOCK OR IMPED THE FDC OR FIRE HYDRANTS. A 3-FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF THE HYDRANT AND FDC
 - ADDITIONAL FIRE PROTECTION AND/OR ACCESSIBILITY REQUIREMENTS MAY BE REQUIRED DUE TO ANY SPECIAL CIRCUMSTANCES CONCERNING THE PROJECT.
 - PRIVATE UNDERGROUND FIRE LINES REQUIRE A SEPARATE UNDERGROUND FIRE LINE PERMIT FROM THE WILMINGTON FIRE AND LIFE SAFETY DIVISION 910-343-0696
 - CONTRACTOR SHALL SUBMIT A RADIO SIGNAL STRENGTH STUDY FOR ALL COMMERCIAL BUILDINGS THAT DEMONSTRATES THAT EXISTING EMERGENCY RESPONDER RADIO SIGNAL LEVELS MEET THE REQUIREMENTS OF SECTION 510 OF THE 2018 NC FIRE CODE.
 - ALL ISOLATION VALVES WITHIN THE "HOT BOX" AND BETWEEN THE "HOT BOX" AND THE RISER ROOM, MUST BE ELECTRICALLY SUPERVISED.





SITE DATA

PARCEL ID: R05520-008-037-000
 CURRENT ZONING: CB W/ WACO
 CAMA LAND USE CLASSIFICATION: URBAN
 PROJECT ADDRESS: 5039 WRIGHTSVILLE AVE
 WILMINGTON, NC 28403
 CURRENT OWNER: MOHAMAD ALI
 4709 WEDGEFIELD DR
 WILMINGTON, NC 28409

TOTAL ACREAGE IN PROJECT BOUNDARY: 16,151 S.F. (±0.37 ac.)

LANDSCAPE REQUIREMENTS:

	REQUIRED	PROVIDED
PARKING LOT INTERIOR SHADING: 20% CANOPY COVERAGE (5,557 SF)	1,111 SF	1,414 SF
STREETYARD: WRIGHTSVILLE AVE. 18' (9' MIN & 27' MAX WIDTH) 170'-25' = 145' X 18'	2,610 SF (1,305 SF*)	1,310 SF
UNDERSTORY TREES (1,310 / 600 X 3)	7	7
SHRUBS (1,310 / 600 X 6)	13	14
* We are requesting a streetyard reduction of one-half (½) the required square footage on Wrightsville Ave. due to essential site improvements.*		
STREETYARD: WOODLAND DR. 9' (4.5' MIN & 13.5' MAX WIDTH) 95'-25' = 70' X 9'	630 SF	850 SF
UNDERSTORY TREES (850 / 600 X 3)	4	4
SHRUBS (850 / 600 X 6)	9	10
FOUNDATION FACINGS: (12% OF BLDG FACE ADJ. TO PARKING AREA) 105 LF X 20' FACADE X 12%	252 SF	258 SF
TREE REQUIREMENTS PER DISTURBED ACRE: 0.4 ACRES DISTURBED X 15 TREES =	6 TREES	15 TREES

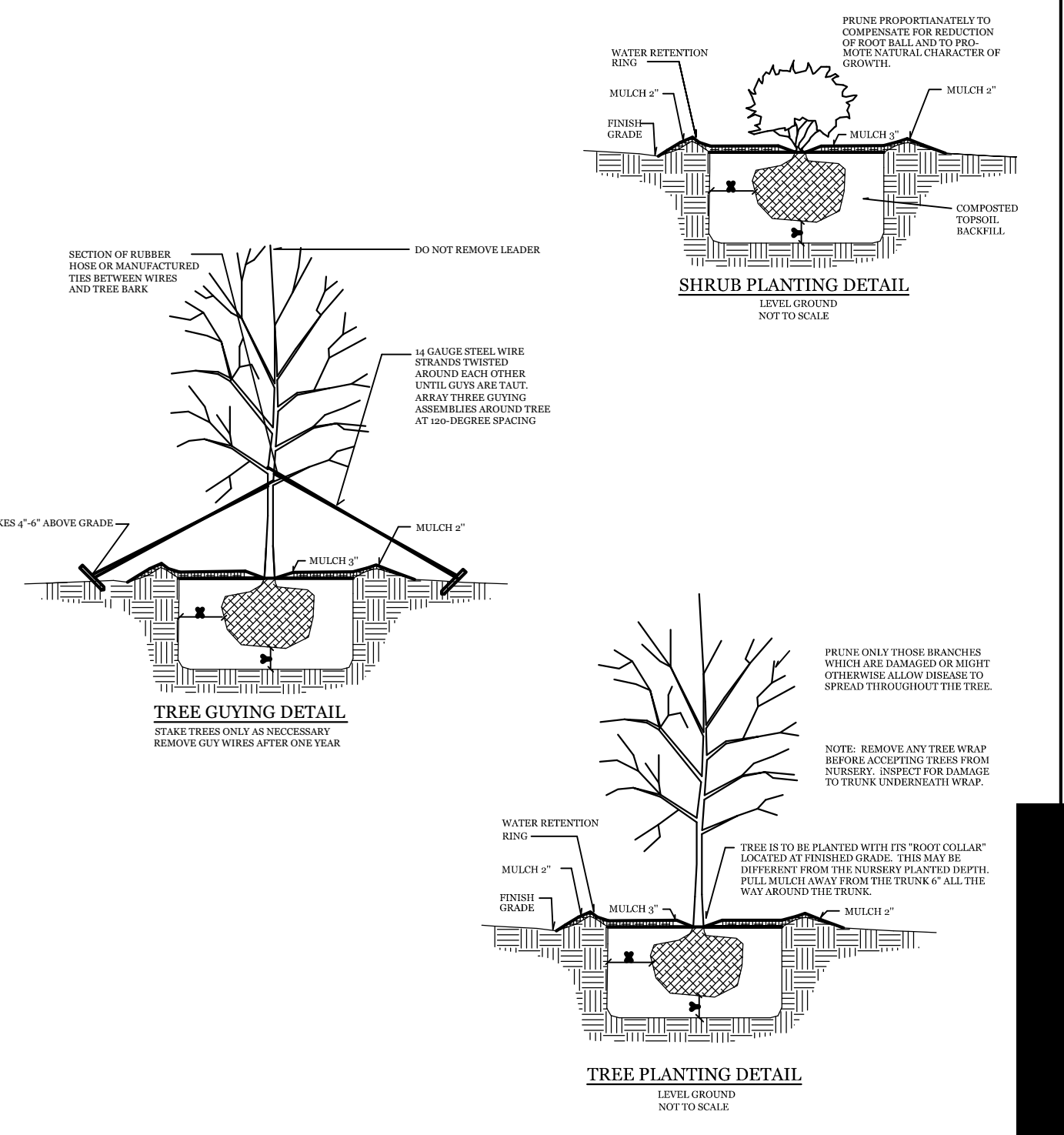
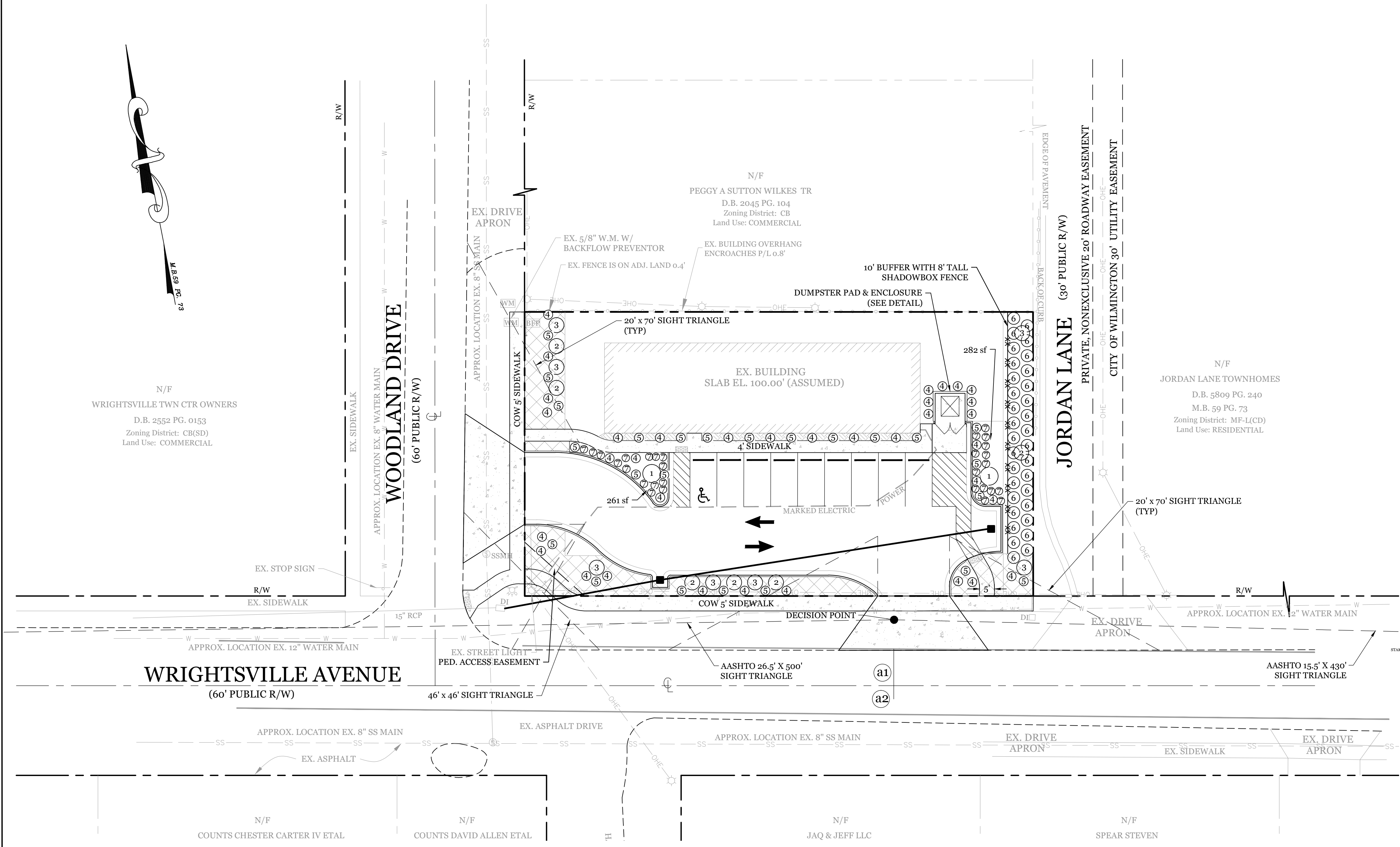
- NOTE:**
- THIS WORK INCLUDES, BUT IS NOT LIMITED TO THE FURNISHING OF ALL LABOR, MATERIALS, EQUIPMENT, FINAL GRADING, SEEDING, SOIL AMENDMENTS, ETC., AS MAY BE REQUIRED FOR A COMPLETE INSTALLATION.
 - ALL PLANT MATERIALS SHALL BE INSTALLED USING GOOD HORTICULTURAL PRACTICES IN ACCORDANCE WITH THE PLANS AND DETAILS.
 - TREE LOCATIONS SHOWN ON PLAN MAY REQUIRE ADJUSTMENT IN THE FIELD. WHENEVER FEASIBLE, TREES SHOULD BE PLANTED A MINIMUM OF TEN (10) FEET FROM ALL UNDERGROUND UTILITIES, STREETLIGHTS, HYDRANTS, AND OUT OF DRAINAGE FLOW LINES. SHOULD THIS NOT BE POSSIBLE, CONTACT THE ENGINEER FOR DECISION ON PLACEMENT.
 - ALL TREES IN TURF AREAS SHALL HAVE 12" MIN. CLR. CIRCUMFERENCE AROUND THE TRUNK BASE. PROVIDE 2" MIN. THICK MULCH AT BASE OF TRUNK.
 - MATURE PLANTINGS SHALL NOT INTERFERE WITH UTILITIES AND TRAFFIC SIGHT LINES.
 - ALL LANDSCAPED ISLANDS AND BEDS TO BE STABILIZED WITH MIN. 3" LAYER OF HARDWOOD MULCH.
 - ALL AREAS OUTSIDE OF PLANTED BEDS TO BE SODDED WITH CENTIPEDE SOD OR OWNER APPROVED EQUIVALENT.

REVISIONS

NO.	DESCRIPTION

INTRACOASTAL ENGINEERING, PLLC
 5725 Oleander Dr. Unit E-7
 Wilmington, North Carolina 28403
 Phone: 910.859.8983
 Email: Charlie@intracoastalengineering.com
 License Number: P-0662

LANDSCAPE PLAN
 FOR
LOUIE'S LIMITED VARIETY STORE
 5039 Wrightsville Ave.
 CITY OF WILMINGTON
 NEW HANOVER COUNTY, NC

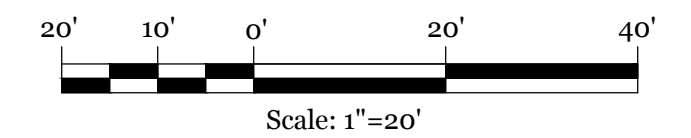
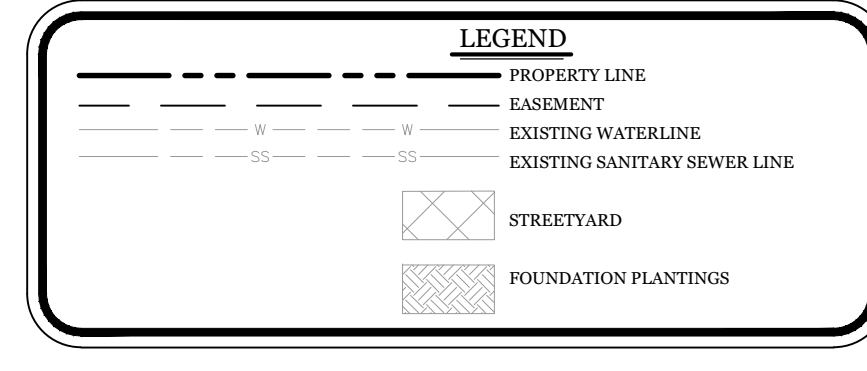


PROPOSED LANDSCAPE PLANT LIST

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	TYPE	MIN. SIZE
①	2	QUERCUS VIRGINIANA	LIVE OAK	SHADE TREE	2.5" CAL.
②	6	CORNUS FLORIDA	FLOWERING DOGWOOD	UNDERSTORY TREE	8' MIN. HEIGHT
③	7	ACER BUERGERIANUM	TRIDENT MAPLE	UNDERSTORY TREE	8' MIN. HEIGHT
④	35	LOROPETALUM CHINENSE	EVERRED LOROPETALUM	SHRUB	1 GAL. (12" MIN. HEIGHT)
⑤	24	RHODODENDRON INDICUM	AZALEA	SHRUB	1 GAL. (12" MIN. HEIGHT)
⑥	33	ILEX VOMITORIA	YAUPON HOLLY	SHRUB	7 GAL. (36" MIN. HEIGHT)
⑦	29	LIRIOPE MUSCARI	LILY GRASS	GROUND COVER	1 GAL.

APPROVED CONSTRUCTION PLAN
 Jeff Walton
 9/1/2021
 City SW# 2021041
 JW, BM, CW, RC, MB

APPROVED
 By waltonj at 10:51 am, Sep 01, 2021



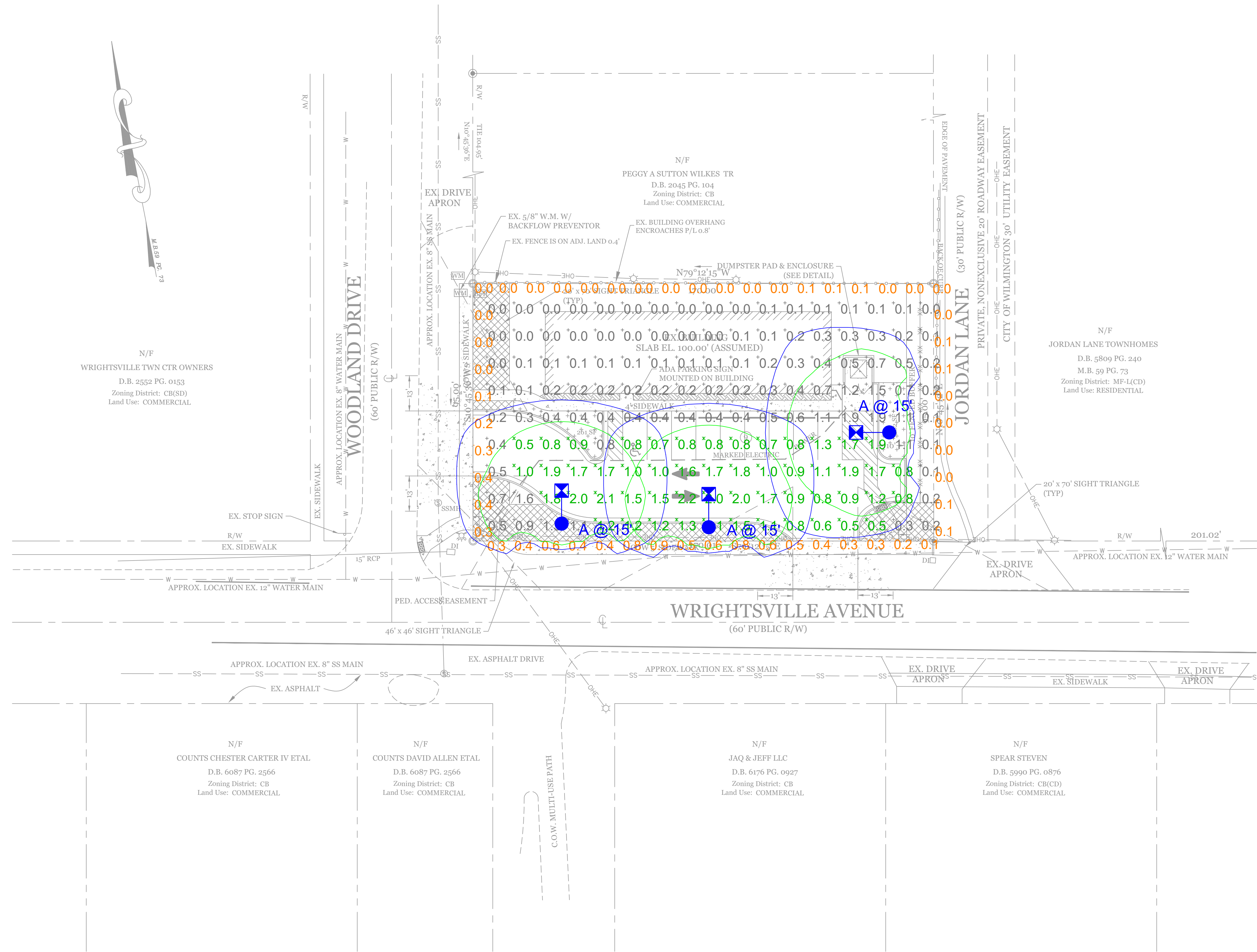
CLIENT INFORMATION:
 Mohamad Ali
 5039 Wrightsville Ave.
 Wilmington, NC 28403

DRAWN: JAE SHEET SIZE: 24x36
 CHECKED: CDC DATE: 8/31/2021
 APPROVED: CDC SCALE: 1" = 20'
 PROJECT NUMBER: 2020-011

DRAWING NUMBER: **L-1**
 5 OF 5



N/F
WRIGHTSVILLE TWN CTR OWNERS
D.B. 2552 PG. 0153
Zoning District: CB(SD)
Land Use: COMMERCIAL

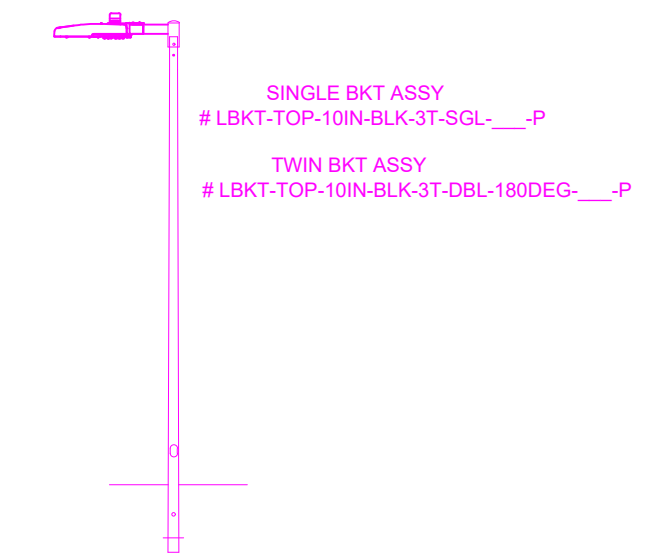
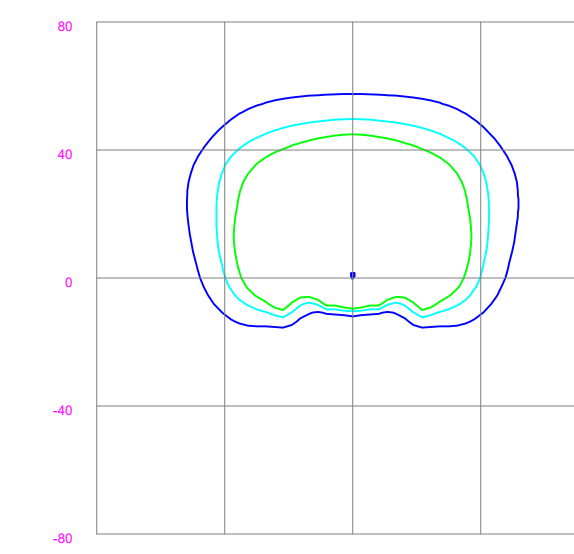


ISOFOOTCANDLE CURVES

FIXTURE: PEDESTRIAN LED
MOUNTING HEIGHT: 15 FT
LIGHT SOURCE: 50W LED'S, 4000K (EANB)
PATTERN: TYPE IV, B1-US-G1 (zero light at or above 90 degrees)

POLE ASSY # LPOLE-A-DB-AL-18FT-BLK-3T___P
ASSY # LFIX-SBK-LED-50-BLK-FV-MULTIV___P

NOTE: THE FOOTCANDLE READINGS BELOW ARE MAINTAINED AND HAVE BEEN DEPRECIATED FOR LAMP LUMEN DEPRECIATION AND LUMINAIRE DIRT DEPRECIATION. FOR INITIAL FOOTCANDLES, DIVIDE THE READINGS BELOW BY .85.



LEGEND (OUTER to INNER): 0.100, 0.200, 0.300

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Overall Grid	+	0.6 fc	2.2 fc	0.0 fc	N/A	N/A
Parking	X	1.2 fc	2.2 fc	0.5 fc	4.4:1	2.4:1
Property Line	+	0.2 fc	0.9 fc	0.0 fc	N/A	N/A

Symbol	Label	Quantity	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor
⊗	A	3	LED 50w Shoebox - Type IV - 4000K	1	4300	0.85

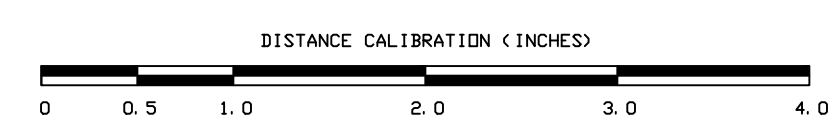
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CONSTRUCTION PLAN
Jeff Walton
9/1/2021
City SW# 2021041
JW, BM, CW, RC, MB

APPROVED
By waltonj at 10:51 am, Sep 01, 2021

LIGHTING DESIGN TOLERANCE

The calculated footcandle light levels in this lighting design are predicted values and are based on specific information that has been supplied to Duke Energy Progress. Any inaccuracies in the supplied information, differences in luminaire installation, lighted area geometry including elevation differences, reflective properties of surrounding surfaces, obstructions (foliage or otherwise) in the lighted area, or lighting from sources other than listed in this design may produce different results from the predicted values. Normal tolerances of voltage, lamp output, and ballast and luminaire manufacture will also affect results.

Customer approval _____ Date _____



PROPRIETARY & CONFIDENTIAL

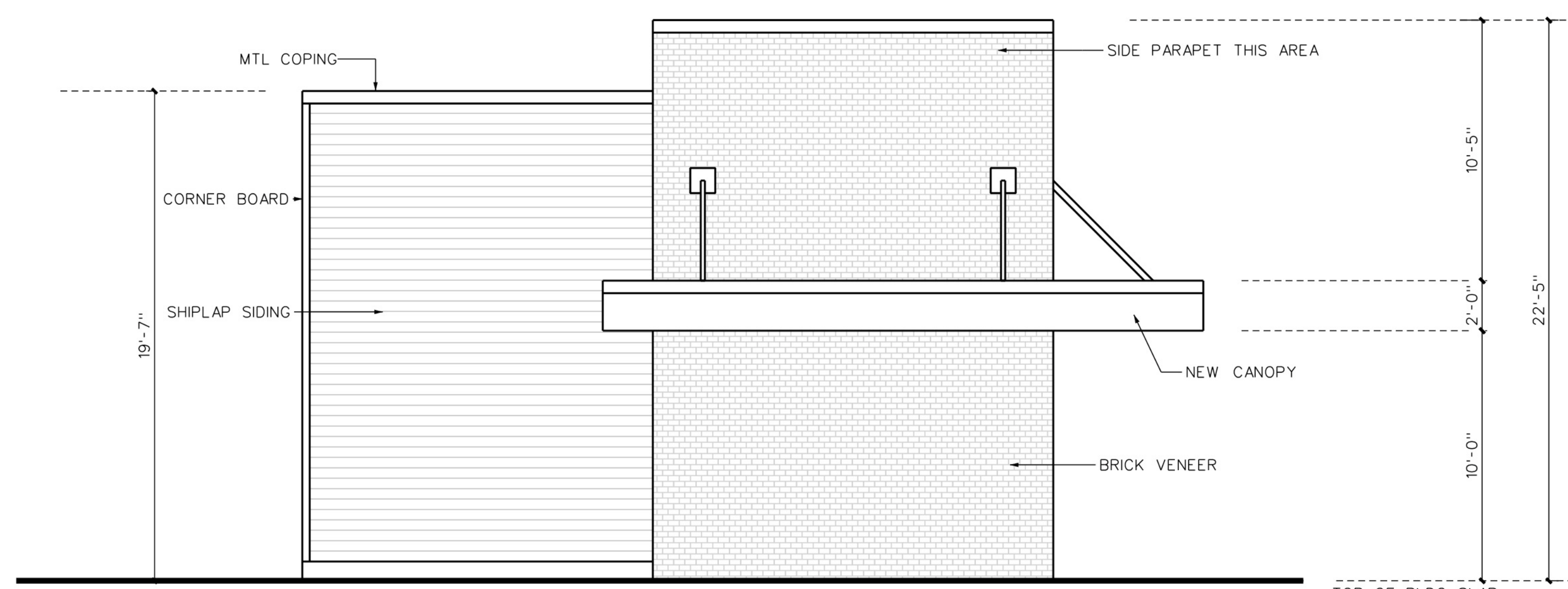
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Louie's Limited Variety Store Wrightsville Ave.	
Wilmington, NC	
SITE LIGHTING PLAN	
Designed by	DEP LIGHTING SOLUTIONS
Reviewed by	N. Johnson Scale 1" = 20'
Date	07/07/2020 Size "Arch D"
Description	LED 50w Shoebox
Drawing No.	20-0237A Sht. 1 OF 1

APPROVED
By waltonj at 10:52 am, Sep 01, 2021

APPROVED
CONSTRUCTION PLAN
Jeff Walton
9/1/2021
City SW# 2021041
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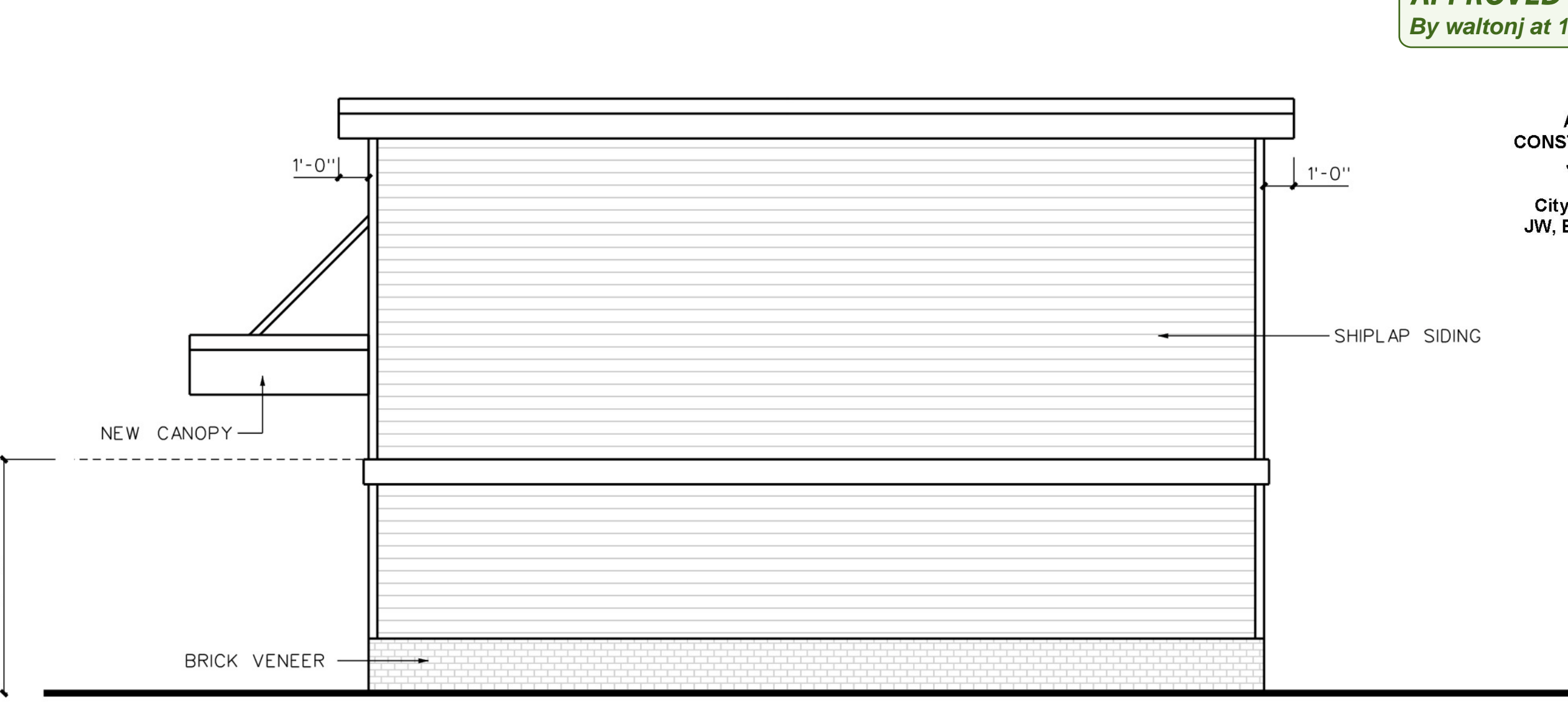
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WOODLAND DR. ELEVATION

1/4" = 1'-0" (WHEN ORIGINAL PDF IS PRINTED AT 100%)

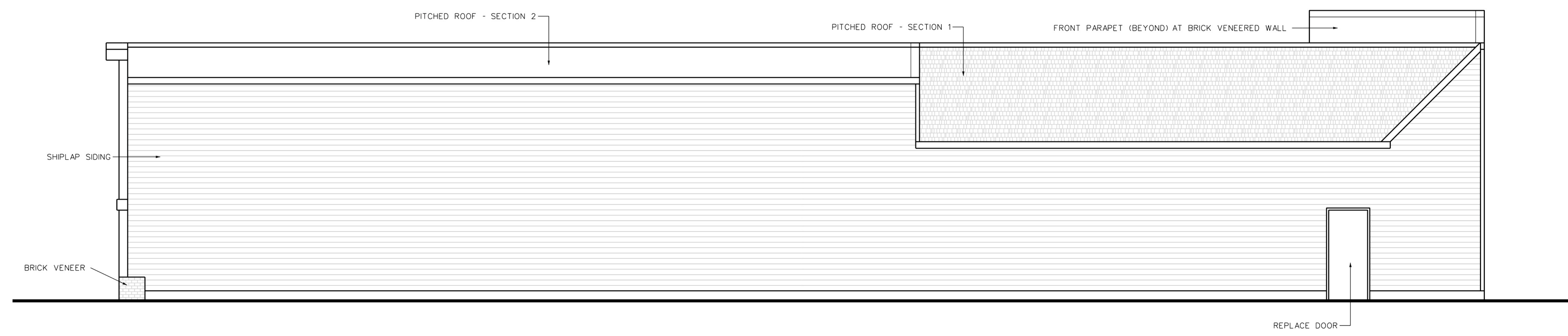
04



JORDAN LN. ELEVATION

1/4" = 1'-0" (WHEN ORIGINAL PDF IS PRINTED AT 100%)

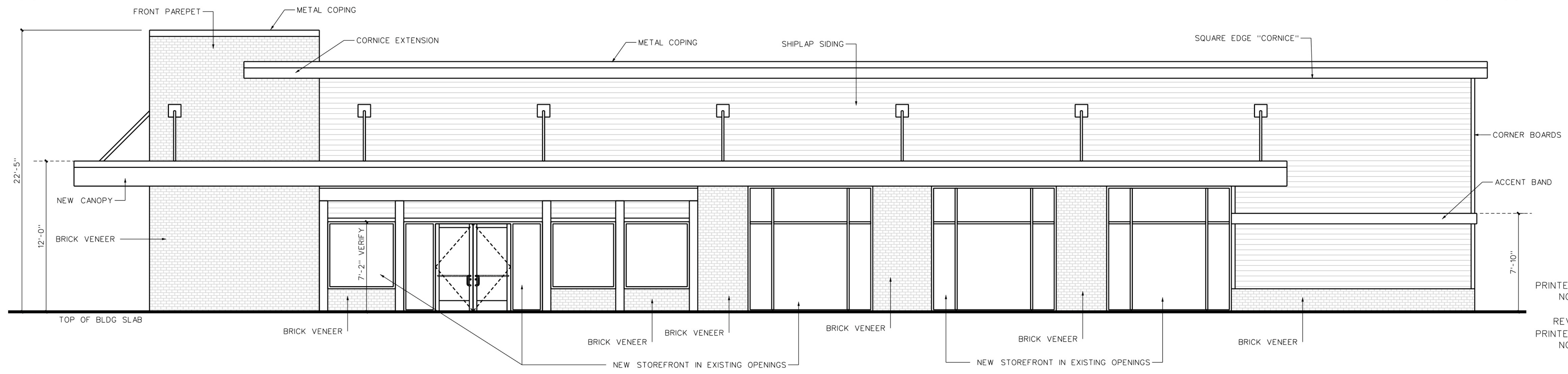
03



REAR ELEVATION

1/4" = 1'-0" (WHEN ORIGINAL PDF IS PRINTED AT 100%)

02



WRIGHTSVILLE AVE ELEVATION

1/4" = 1'-0" (WHEN ORIGINAL PDF IS PRINTED AT 100%)

01

A401

LOUIE'S LIMITED VARIETY STORE

5039 WRIGHTSVILLE AVE, WILMINGTON, NC

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